

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				801 FY2024 BARNSTABLE, MA  <b>VISION</b>	
FENNEY, MARY ANNE  35 CEDAR STREET  HYANNIS MA 02601	1 Level	2 Public Water	1 Paved			Description	Code	Assessed	Assessed		
		4 Gas				RESIDNTL	1010	432,300	432,300		
		6 Septic				RES LAND	1010	151,900	151,900		
<b>SUPPLEMENTAL DATA</b>						Total				584,200	584,200
Alt Prcl ID		Split Zonin		Plan Ref. 244/67							
BID Parcel		ResExpt Q		Land Ct#							
#DL 1 LOT 10		#DL 2		#SR							
GIS ID F_967468_2706027		Assoc Pid#		Life Estate							
		PP STATU									

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRIC	VC	PREVIOUS ASSESSMENTS (HISTORY)									
FENNEY, MARY ANNE	26455	0003	06-28-2012	Q	I	305,000	00	Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed	
CONNOLLY, JOHN J & NOLA M	2767	0100	08-17-1978	U		0		2023	1010	382,900	2022	1010	324,500	2021	1010	263,000	
									1010	138,100		1010	102,300		1010	102,300	
															1010	16,400	
Total										521,000			Total		426,800	Total	381,700

EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int										
Total			0.00															

ASSESSING NEIGHBORHOOD				APPRAISED VALUE SUMMARY										
Nbhd	Nbhd Name	B	Tracing	Batch										
0105				CENVIL										
NOTES														
Appraised Bldg. Value (Card) 390,700														
Appraised Xf (B) Value (Bldg) 25,200														
Appraised Ob (B) Value (Bldg) 16,400														
Appraised Land Value (Bldg) 151,900														
Special Land Value 0														
Total Appraised Parcel Value 584,200														
Valuation Method C														
Total Appraised Parcel Value 584,200														

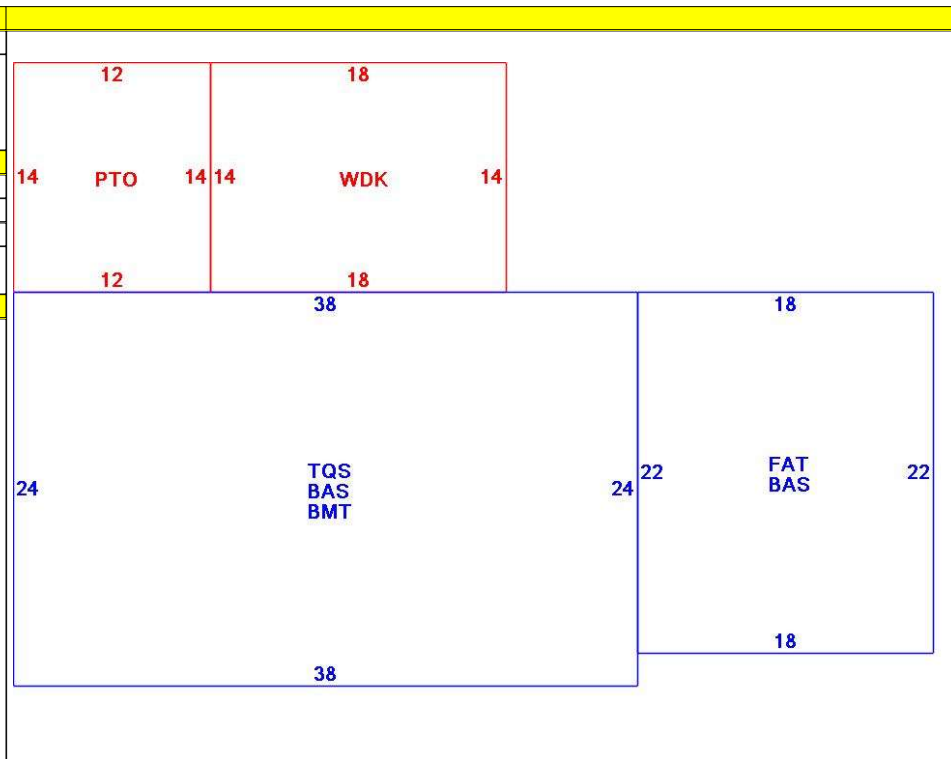
BUILDING PERMIT RECORD								VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result	
201506088	09-17-2015	NS	New Siding	25,400	06-30-2016	100	06-30-2016	RE-SIDE AND REPLACEMEN	04-28-2020	LS			FR	Field Review	
B32621	02-01-1989	AD	Addition	10,000	01-15-1990	100		CE ADD'N	03-15-2018	KM	02		03	Cycl Insp Comp	
									02-04-2014	TR	03		16	In Office Review	
									06-22-2009	NF	03		03	Cycl Insp Comp	
									02-12-2009	JG			04	Permit/Hold as NewGrth	
									08-18-2008	PT	02		14	Cyclical Inspection	
									01-14-2000	PT	01		00	Meas/Listed-Interior Acces	

LAND LINE VALUATION SECTION																	
B	Use Code	Description	Zone	LA	Land Units	Unit Price	Size Adj	AC Disc	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	1010	Single Fam M-0	RC	3	0.340	AC	176,344.00	2.53383	1.0000	5	1.00	0105	1.000		1.0000	446,820.4	151,900
Total Card Land Units					0.34	AC	Parcel Total Land Area					0.34	Total Land Value				151,900

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style	04	Cape Cod			
Model	01	Residential			
Grade:	C	Average			
Stories	1.75	1 3/4 Stories			
Exterior Wall 1	25	Vinyl Siding			
Exterior Wall 2					
RooF Structure	03	Gable/Hip			
RooF Cover	03	Asph/F Gls/Cmp			
Interior Wall 1	05	Drywall			
Interior Wall 2					
Interior Floor 1	12	Hardwood			
Interior Floor 2	14	Carpet			
Heat Fuel	03	Gas			
Heat Type	05	Hot Water			
AC Type	03	Central			
Bedrooms	03	3 Bedrooms			
Full Baths	2				
Half Baths	0				
Extra Fixtures					
Total Rooms	7	7 Rooms			
Bath Style					
Kitchen Style					
Occupancy					
UsrflD 105					
Accessory Apt					
Foundation Alt	01	Poured Conc.			
Rms Prts					
Bath Split	20	2 Full-0 Half			

CONDO DATA			
Parcel Id	C	Owne	0.0
Adjust Type	Code	Description	Factor%
Condo Flr			
Condo Unit			

COST / MARKET VALUATION	
Building Value New	494,567
Year Built	1972
Effective Year Built	1992
Depreciation Code	A
Remodel Rating	
Year Remodeled	
Depreciation %	21
Functional Obsol	0
External Obsol	0
Trend Factor	1
Condition	
Condition %	
Percent Good	79
RCNLD	390,700
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL2	Fireplace 1.5 s	B	1	6000.00	1994		79		0.00	4,700
FGR2	Garage- Avg-	L	345	50.00	1985		66	00	1.00	11,400
PAT1	Patio- Average	L	168	5.89	1996		77		0.00	900
WDC	Deck comp w	L	252	28.00	1996		54		0.00	4,100
BMT	Basement-Unfi	B	912	26.01	1994		79		0.00	19,700
UST	Utility Storage-	B	64	17.11	1994		79		0.00	800

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,308	1,308	1,308	252.33	330,048
BMT	Basement Area	0	912	0	0.00	0
FAT	Attic, Finished	59	396	59	37.59	14,887
PTO	Patio	0	168	0	0.00	0
TQS	Three Quarter Story	593	912	593	164.07	149,632
WDK	Wood Deck	0	252	0	0.00	0
Ttl Gross Liv / Lease Area		1,960	3,948	1,960		494,567

