

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT			
SARACENO, INGEBORG E & GAFFE SARACENO BAYBERRY WAY P R T 15 SURREY ROAD		1 Level	6 Septic	1 Paved	7 Waterfront	Description	Code	Assessed	Assessed
			4 Gas		1 Excel View	RESIDNTL	1010	2,297,900	2,297,900
NEWTON MA 02158		SUPPLEMENTAL DATA				RES LAND	1010	7,947,300	7,947,300
		Alt Prcl ID Split Zonin BID Parcel ResExpt Q #DL 1 LOT 244 #DL 2 GIS ID F_957904_2687092	Plan Ref. Land Ct# 2664-119 #SR Life Estate PP STATU Assoc Pid#	Total		10,245,200	10,245,200		

801
 FY2024
 BARNSTABLE, MA

VISION

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRIC	VC	PREVIOUS ASSESSMENTS (HISTORY)						
255 BAYBERRY WAY LLC		C234168	0	10-12-2023	U	I	10	1F	Year	Code	Assessed	Year	Code	Assessed
SARACENO, INGEBORG E & GAFFEY RI		C199124	0	12-21-2012	U	I	1	1F	2023	1010	1,811,400	2022	1010	1,696,200
SARACENO, INGEBORG E		C119985	0	03-15-1990	U	I	0	A		1010	7,225,900		1010	4,168,100
SARACENO, DOMINIC		C104603	0	12-17-1985	U		100	A					1010	180,800
SARACENO, DOMINIC		C104507	0	12-15-1985	Q		750,000	U	Total		9,037,300	Total		5,864,300
		Total								Total				5,418,300

EXEMPTIONS			OTHER ASSESSMENTS					
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
Total		0.00						

This signature acknowledges a visit by a Data Collector or Assessor

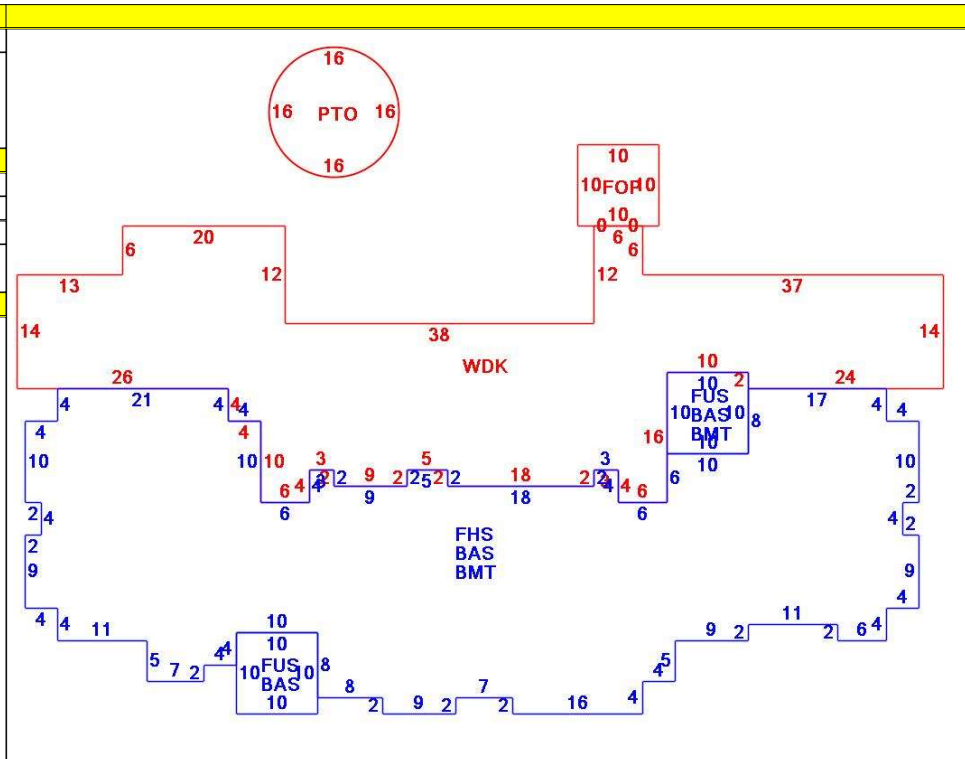
ASSESSING NEIGHBORHOOD			
Nbhd	Nbhd Name	B	Tracing
WF13			OSTVIL

APPRAISED VALUE SUMMARY	
Appraised Bldg. Value (Card)	1,990,100
Appraised Xf (B) Value (Bldg)	127,000
Appraised Ob (B) Value (Bldg)	180,800
Appraised Land Value (Bldg)	7,947,300
Special Land Value	0
Total Appraised Parcel Value	10,245,200
Valuation Method	C
Total Appraised Parcel Value	10,245,200

BUILDING PERMIT RECORD									VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result
B30115	10-01-1986	DW	Dwelling	0	01-15-1989	100	12-31-1989	OS 1 STOR	06-05-2020	WD			FR	Field Review
									05-16-2018	KM	02		03	Cycl Insp Comp
									04-02-2015	JR	03		03	Cycl Insp Comp
									08-14-2013	JR	03		20	Sale Review
									08-29-2012	TP	03		16	In Office Review
									10-01-2008	TP	03		16	In Office Review
									09-29-2003	PT	02		01	Meas/Est

LAND LINE VALUATION SECTION																
B	Use Code	Description	Zone	LA	Land Units	Unit Price	Size Adj	AC Disc	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value
1	1010	Single Fam M-0	RF-1	3	1.000	AC 176,344.00	1.00000	1.0000	5	1.00	WF13	45.000		1.0000	7,935,480	7,935,500
1	1010	Single Fam M-0	RF-1	3	4.980	AC 2,375.00	1.00000	1.0000	0	1.00	WTLD	1.000	WETLAND	1.0000	2,375	11,800
Total Card Land Units					5.98	AC	Parcel Total Land Area					5.98	Total Land Value			7,947,300

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style	07	Modern/Contemp			
Model	01	Residential			
Grade:	X	Exceptional			
Stories	1.5	1 1/2 Stories			
Exterior Wall 1	11	Clapboard			
Exterior Wall 2					
RooF Structure	03	Gable/Hip			
RooF Cover	10	Wood Shingle			
Interior Wall 1	03	Plastered			
Interior Wall 2	05	Drywall			
Interior Floor 1	14	Carpet			
Interior Floor 2	12	Hardwood			
Heat Fuel	03	Gas			
Heat Type	04	Hot Air			
AC Type	03	Central			
Bedrooms	06	6 Bedrooms			
Full Baths	4				
Half Baths	1				
Extra Fixtures					
Total Rooms	9	9 Rooms			
Bath Style					
Kitchen Style					
Occupancy					
Usrflid 105					
Accessory Apt					
Foundation Alt	01	Poured Conc.			
Rms Prts					
Bath Split	41	4 Full-1 Half			
			CONDO DATA		
			Parcel Id	C	Owne 0.0
			Adjust Type Code Description Factor%		
			Condo Flr		
			Condo Unit		
			COST / MARKET VALUATION		
			Building Value New	2,341,259	
			Year Built	1988	
			Effective Year Built	2000	
			Depreciation Code	A	
			Remodel Rating		
			Year Remodeled		
			Depreciation %	15	
			Functional Obsol	0	
			External Obsol	0	
			Trend Factor	1	
			Condition		
			Condition %	85	
			Percent Good	85	
			RCNLD	1,990,100	
			Dep % Ovr		
			Dep Ovr Comment		
			Misc Imp Ovr		
			Misc Imp Ovr Comment		
			Cost to Cure Ovr		
			Cost to Cure Ovr Comment		



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL3	Fireplace 2 sto	B	3	7000.00	2002		85		0.00	17,900
BFA2	Bsmt Fin-VG-	B	1,000	54.47	2002		85		0.00	46,300
DKHD	Dock-Heavy	L	1	205000.0	1991		44		0.00	90,200
GAR2	Det Gar-w/FH	L	704	85.00	1988		69	B	1.32	54,500
WDC	Wood Decking	L	2,122	20.00	2008		78		0.00	28,800
PAT2	Patio-Good	L	201	9.94	2008		89		0.00	2,000
FOP	Open Porch-ro	B	100	55.00	2002		85		0.00	4,700
BMT	Basement-Unfi	B	3,097	26.01	2002		85		0.00	54,700
FPO	Ext FP Openin	B	2	2000.00	2002		85		0.00	3,400
GEN	Emergency Ge	L	1	5550.00	2017		96		0.00	5,300

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	3,197	3,197	3,197	478.20	1,528,800
BMT	Basement Area	0	3,097	0	0.00	0
FHS	Half Story	1,499	2,997	1,499	239.18	716,819
FOP	Open Porch	0	100	0	0.00	0
FUS	Upper Story	200	200	200	478.20	95,640
PTO	Patio	0	201	0	0.00	0
WDK	Wood Deck	0	2,122	0	0.00	0
Ttl Gross Liv / Lease Area		4,896	11,914	4,896		2,341,259

