

CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				801 FY2024 BARNSTABLE, MA VISION	
HARRIS, KEITH G & CATHERINE R 7 BACKSTRETCH COURT SARATOGA SPR NY 12866		1 Level	2 Public Water			Description	Code	Assessed	Assessed		
			4 Gas	1 Paved		RESIDNTL	1010	486,800	486,800		
			6 Septic			RES LAND	1010	154,200	154,200		
SUPPLEMENTAL DATA						Total				641,000	641,000
Alt Prcl ID		Split Zonin		Plan Ref.							
BID Parcel		ResExpt Q		Land Ct# 37432-A (SH 3)							
#DL 1 LOT 16		#DL 2		#SR							
GIS ID F_962190_2702694		Assoc Pid#		Life Estate							
				PP STATU							

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRIC	VC	PREVIOUS ASSESSMENTS (HISTORY)						
HARRIS, KEITH G & CATHERINE R		C220424	0	08-30-2019	Q	I	435,000	00	Year	Code	Assessed	Year	Code	Assessed
CARROLL, REBECCA HAYES & GEORGE		C204791	0	10-27-2014	U	I	1	1F	2023	1010	431,700	2022	1010	366,600
HAYES, REBECCA		C175963	0	02-24-2005	Q	I	390,000	00		1010	140,200		1010	103,800
BATES, RICHARD D		C173899	0	07-30-2004	U	I	0	1					1010	5,300
BATES, RICHARD D & TINA L		C160224	0	12-28-2000	U	I	1	1A	Total		571,900	Total		470,400
										Total		Total		420,300

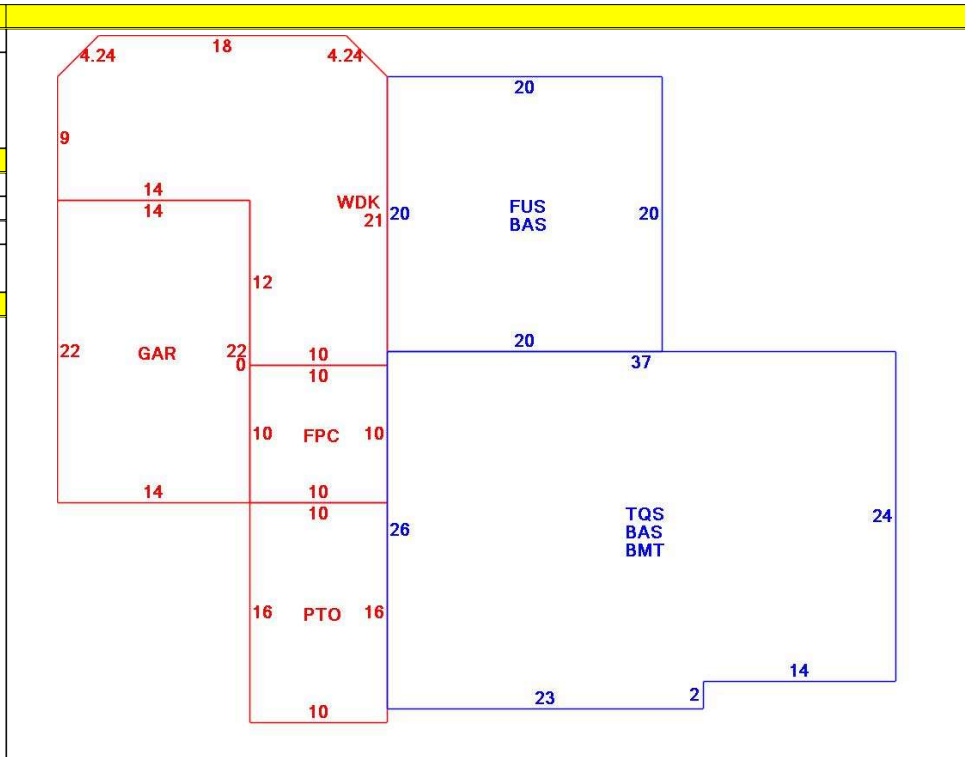
EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor						
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int					
Total			0.00										

ASSESSING NEIGHBORHOOD				APPRAISED VALUE SUMMARY					
Nbhd	Nbhd Name	B	Tracing	Batch					
0105				CENVIL					
NOTES									
Appraised Bldg. Value (Card)					435,600				
Appraised Xf (B) Value (Bldg)					45,900				
Appraised Ob (B) Value (Bldg)					5,300				
Appraised Land Value (Bldg)					154,200				
Special Land Value					0				
Total Appraised Parcel Value					641,000				
Valuation Method					C				
Total Appraised Parcel Value					641,000				

BUILDING PERMIT RECORD								VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result	
20-412	02-13-2020	822	Insulation	3,500		100		Weatherization, Air Sealing,	05-01-2020	LS			FR	Field Review	
50331	12-01-2000	AD	Addition	92,000	12-20-2001	100	01-01-2002		01-17-2020	CK	03		16	In Office Review	
									01-16-2020	SAF			20	Sale Review	
									10-02-2019	CK	22		22	Change of Address	
									02-06-2018	SR	02		03	Cycl Insp Comp	
									04-22-2015	TR	03		16	In Office Review	
									08-27-2014	JR	03		16	In Office Review	

LAND LINE VALUATION SECTION																	
B	Use Code	Description	Zone	LA	Land Units	Unit Price	Size Adj	AC Disc	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustmen	Adj Unit P	Land Value	
1	1010	Single Fam M-0	RC	3	0.410	AC	176,344.00	2.13291	1.0000	5	1.00	0105	1.000		1.0000	376,124.1	154,200
Total Card Land Units					0.41	AC	Parcel Total Land Area					0.41	Total Land Value			154,200	

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style	04	Cape Cod			
Model	01	Residential			
Grade:	C	Average			
Stories	1.75	1 3/4 Stories			
Exterior Wall 1	14	Wood Shingle			
Exterior Wall 2	11	Clapboard			
Roof Structure	03	Gable/Hip			
Roof Cover	03	Asph/F Gls/Cmp			
Interior Wall 1	05	Drywall			
Interior Wall 2					
Interior Floor 1	12	Hardwood			
Interior Floor 2	05	Vinyl/Asphalt			
Heat Fuel	02	Oil			
Heat Type	05	Hot Water			
AC Type	01	None			
Bedrooms	04	4 Bedrooms			
Full Baths	2				
Half Baths	0				
Extra Fixtures					
Total Rooms	7				
Bath Style					
Kitchen Style					
Occupancy					
Usrflid 105					
Accessory Apt					
Foundation Alt	01	Poured Conc.			
Rms Prts					
Bath Split	20	2 Full-0 Half			
			CONDO DATA		
			Parcel Id	C	Owne 0.0
				B	S
			Adjust Type	Code	Description
			Condo Flr		
			Condo Unit		
			COST / MARKET VALUATION		
			Building Value New		537,728
			Year Built		1978
			Effective Year Built		1995
			Depreciation Code		A
			Remodel Rating		
			Year Remodeled		
			Depreciation %		19
			Functional Obsol		0
			External Obsol		0
			Trend Factor		1
			Condition		
			Condition %		
			Percent Good		81
			RCNLD		435,600
			Dep % Ovr		
			Dep Ovr Comment		
			Misc Imp Ovr		
			Misc Imp Ovr Comment		
			Cost to Cure Ovr		
			Cost to Cure Ovr Comment		



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Gd	Grade	Grade Adj.	Appr. Value
FPL2	Fireplace 1.5 s	B	1	6000.00	1997		81		0.00	4,900
WDC	Wood Deck w/	L	399	18.00	1997		56		0.00	3,900
PAT2	Patio-Good	L	160	9.94	1997		78		0.00	1,400
FOPC	Open Prch-roo	B	100	55.00	1997		81		0.00	3,800
GAR	Attached Gara	B	308	40.00	1997		81		0.00	11,000
BMT	Basement-Unfi	B	934	26.01	1997		81		0.00	20,500
FPL3	Fireplace 2 sto	B	1	7000.00	1997		81		0.00	5,700

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value
BAS	First Floor	1,334	1,334	1,334	229.70	306,420
BMT	Basement Area	0	934	0	0.00	0
FPC	Open Porch Conc. Floor	0	100	0	0.00	0
FUS	Upper Story	400	400	400	229.70	91,880
GAR	Attached Garage	0	308	0	0.00	0
PTO	Patio	0	160	0	0.00	0
TQS	Three Quarter Story	607	934	607	149.28	139,428
WDK	Wood Deck	0	399	0	0.00	0
Ttl Gross Liv / Lease Area		2,341	4,569	2,341		537,728



2.1.2018